



NORTHWEST PERSPECTIVE OF BUILDING MAIN ENTRY - ARTISTIC 3D VIEW

ISSUED FOR DR-2 RESPONSE (DP2025-02420)

"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

TBD RICHMOND RISE S.W.
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

ARCHITECTURAL

- DP0.00 COVER SHEET
- DP1.01 SURVEY PLAN
- DP1.02 LANDUSE OUTLINE PLAN (FOR REFERENCE)
- DP1.03 SITE PLAN + PROJECT/SBYLAW INFORMATION
- DP1.04 OVERALL SITE PLAN - PEDESTRIAN, ENLARGED PLANS & DETAILS
- DP1.05 VEHICLE ACCESS PLAN
- DP2.01 PARKADE FLOOR PLAN / LOWER SITE PLAN
- DP2.02 MAIN FLOOR PLAN
- DP2.03 FLOOR PLANS - LEVELS 2-5 TYPICAL + LEVEL 6
- DP2.04 ROOF PLAN
- DP3.01 BUILDING ELEVATIONS
- DP3.02 BUILDING ELEVATIONS
- DP3.03 ORTHOGRAPHIC VIEWS
- DP4.01 BUILDING SECTIONS
- DP4.02 BUILDING SECTIONS

LANDSCAPE

- DPL1.00 LANDSCAPE - BYLAW PLAN
- DPL1.10 LANDSCAPE - PARKADE LEVEL SITE PLAN
- DPL1.20 LANDSCAPE - MAIN FLOOR SITE PLAN

CIVIL

- C.625-900-A CIVIL - SITE PLAN
- C.625-900-B CIVIL - SITE SERVICING PLAN

ELECTRICAL

- DPE1.00 DP ELECTRICAL SITE PLAN - LOWER LEVEL
- DPE1.01 DP ELECTRICAL SITE PLAN - UPPER LEVEL
- DPE1.02 DP SITE LIGHTING PHOTOMETRIC PLAN - LOWER LEVEL
- DPE1.03 DP ELECTRICAL SITE DETAILS



Zeidler Architecture

300, 640 – 8 Avenue SW
Calgary, Alberta T2P 1G7
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OWNER



ARCHITECTURAL



STRUCTURAL



MECHANICAL



ELECTRICAL



LANDSCAPE



CIVIL



AMENDED DRAWINGS
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DP2025-02420 DEC 15 2025
THESE DRAWINGS REFER TO THE
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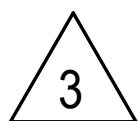
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/ REVISION	DATE
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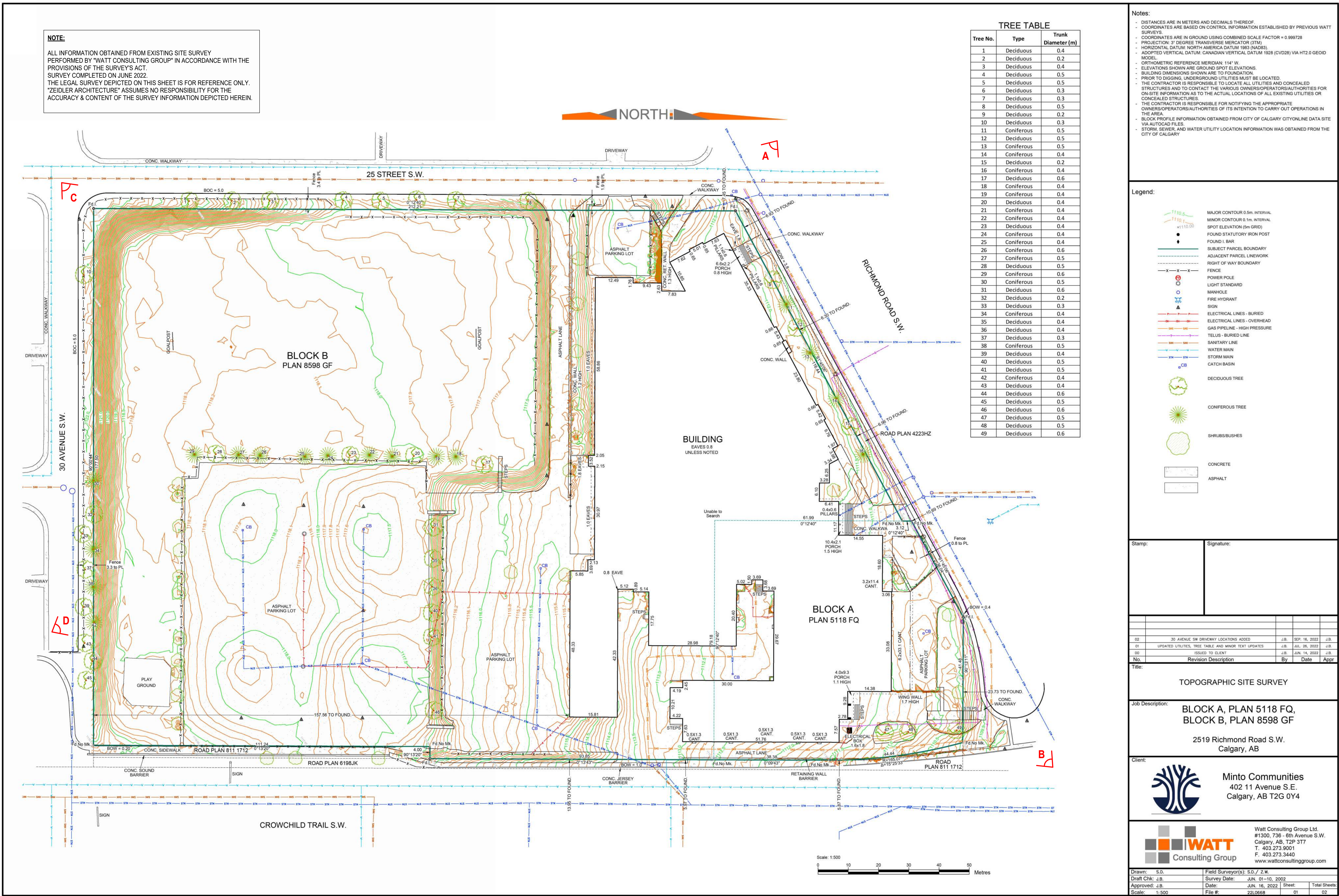
PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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DP0.00



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VIEW / LOCATION WHERE SITE PHOTO WAS TAKEN FROM

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NOT FOR CONSTRUCTION

**"PARKLINE" PHASE 1
- MULTI-FAMILY BLDG**

PROJECT ADDRESS
TBD RICHMOND RISE S.W.
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

TITLE
SURVEY PLAN

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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DP1.01



A - SITE PHOTOGRAPH - NORTH WEST CORNER



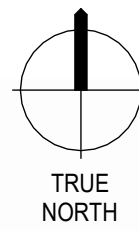
B - SITE PHOTOGRAPH - NORTH EAST CORNER



C - SITE PHOTOGRAPH - SOUTH WEST CORNER



D - SITE PHOTOGRAPH - SOUTH EAST CORNER



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NOT FOR CONSTRUCTION

PROJECT

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- MULTI-FAMILY BLDG

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(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

TITLE

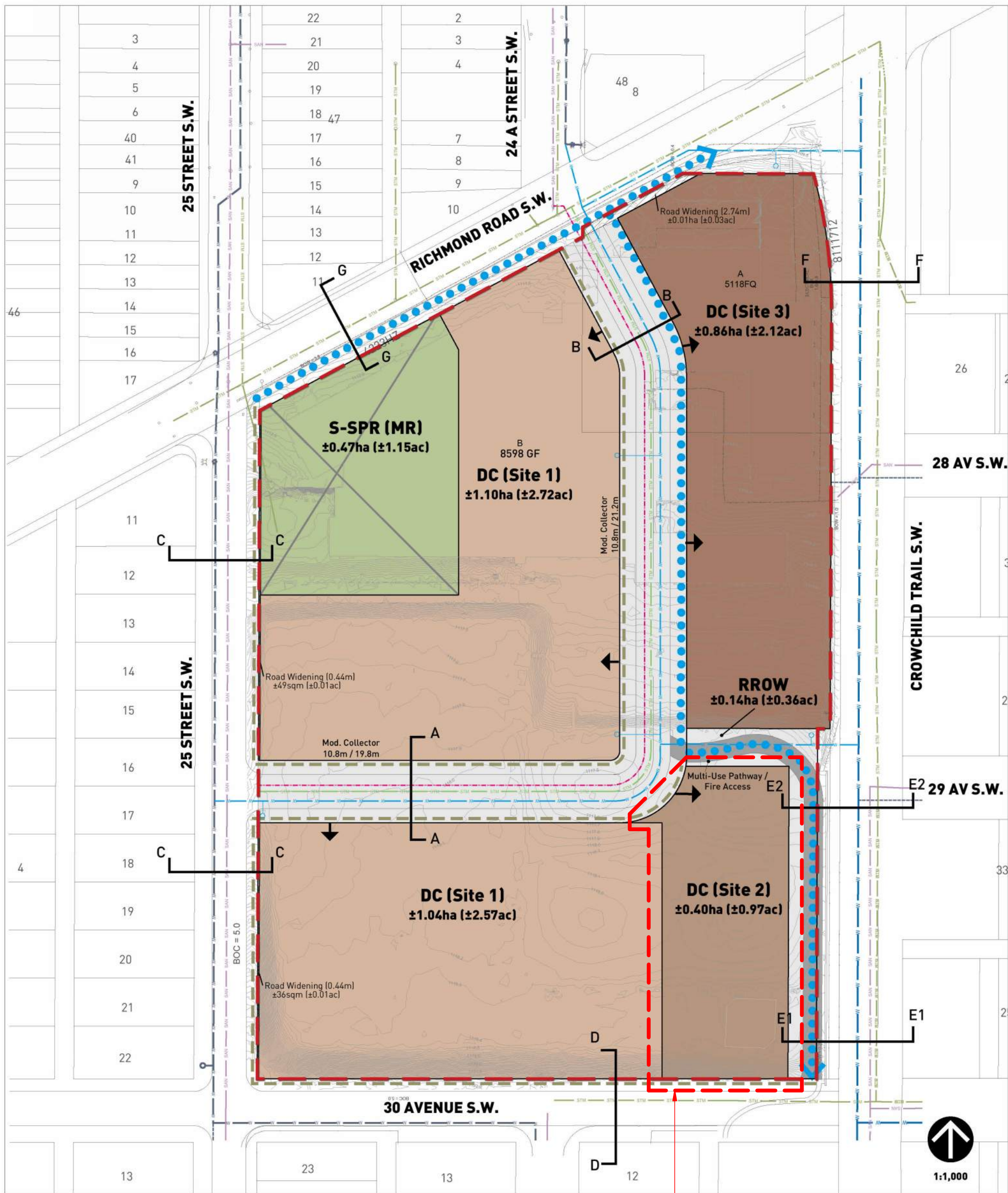
LANDUSE OUTLINE
PLAN (FOR
REFERENCE)

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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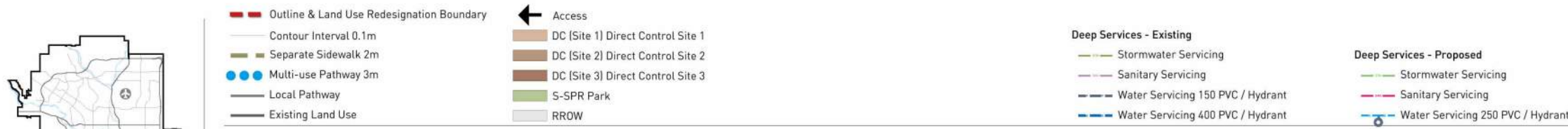
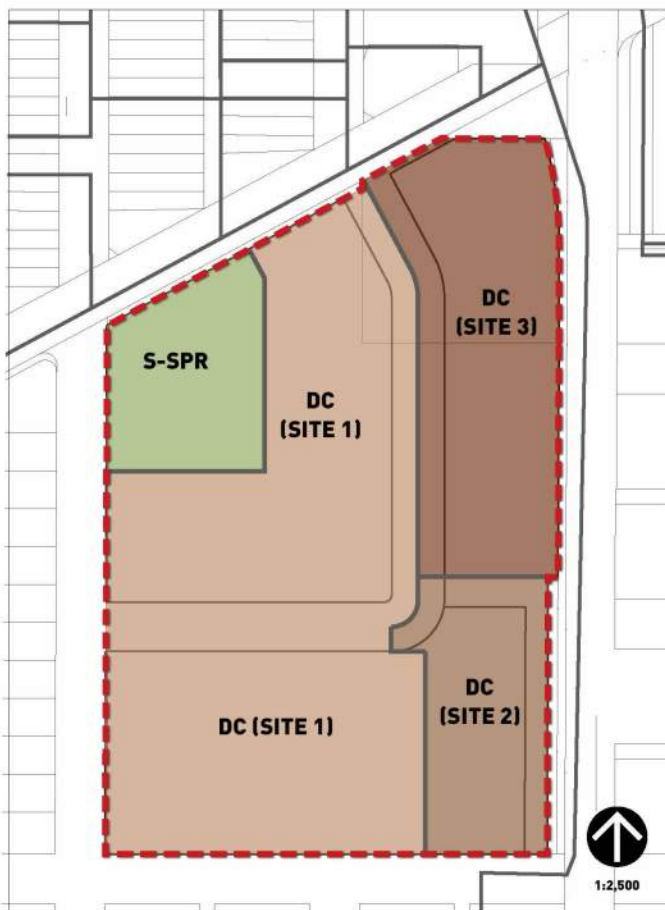
DP1.02

3



OUTLINE PLAN STATISTICS			
		Hectares (SI)	Acres (SI)
Total Area		4.45	11.49
Gross Developable Area (GDA)		4.45	11.49
Land Use		Units per acre (SI)	Hectares (SI)
Total Frontage		3.39	8.38
DC (Site 1)	Direct Control Site 1	115	28
DC (Site 2)	Direct Control Site 2	107	26
DC (Site 3)	Direct Control Site 3	223	55
S-SPR	Special Purpose - School, Park and Community	264.8	657.2
Roadways & Lanes	Road Widening	0.14	0.34

LAND USE STATISTICS			
FROM	TO	ha (SI)	ac (SI)
R-CG	DC (Site 1)	2.56	6.33
R-CG	DC (Site 2)	0.57	1.41
R-CG	DC (Site 3)	1.05	2.58
R-CG	S-SPR	0.47	1.17
Total		4.65	11.49



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REVISION

Land Use Submission
Outline Plan Submission
Respond to DR Comments
Respond to City Comments

DATE

15/Nov/2023
05/Jan/2024
15/Oct/2024
30/Jan/2025

REVISION

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REVISION

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TEAM
B&A Studios
400, 215 - 17 Ave SW
Calgary, Alberta, T2P 1K3
tstudios.ca | t: 403 281 4733

PRE-APP NUMBER:

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FILE INFO

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LEGAL DESCRIPTION
Block A, Plan 5118 FQ &
Block B, Plan 8598 GF
MUNICIPAL ADDRESS
2519 Richmond Road S.W.

2501 RICHMOND

PROJECT NAME

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SHEET TITLE

OUTLINE PLAN AND
LAND USE REDESIGNATION



LANDUSE REDESIGNATION OUTLINE PLAN

LANDUSE REDESIGNATION OUTLINE PLAN DATED 2025-01-30
FOR REFERENCE ONLY, PREPARED BY B&A PLANNING

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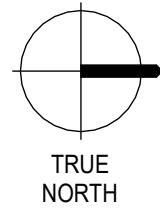
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PROJECT INFORMATION	
OWNER:	MINTO COMMUNITIES
DP APPLICANT:	ZEIDLER ARCHITECTURE
MUNICIPAL ADDRESS:	2501 RICHMOND ROAD S.W., CALGARY, AB. T3E 4M1
LEGAL ADDRESS:	PLAN: 8598GF, BLOCK B & PLAN 5118FQ, BLOCK A
PARCEL AREA:	3963.441 m ² / 42662.123866 ft ² / 0.3963441 ha
LANDUSE BYLAW:	LUB 1P2007
ZONING (EXISTING):	R-CG
ZONING (PROPOSED):	PROPOSED DIRECT CONTROL DISTRICT 'SITE 2' (BASED ON M-H2)
GENERAL DESCRIPTION:	6 STOREY - MULTI-FAMILY BUILDING WITH 1-LEVEL UNDERGROUND PARKING
PRINCIPAL USES / FLOOR:	RESIDENTIAL UNITS ON LEVELS 1-6 UNDERGROUND PARKING + BUILDING ENTRY LOBBY ON LEVEL P1

BYLAW ANALYSIS:

CLAUSE	REQUIREMENT	PROVIDED																													
FLOOR AREA RATIO (F.A.R.): (16)	MAXIMUM 4.0 F.A.R. (= 15,853.76m ²)																														
DENSITY UNITS PER HECTARE (17)	MINIMUM DENSITY IS 150 UNIT PER HECTARE (1) MAXIMUM DENSITY IS 400 UNITS PER HECTARE (2)	<table><tr><th rowspan="2">LEVEL</th><th colspan="2">GROSS FLOOR AREA</th></tr><tr><th>m²</th><th>ft²</th></tr><tr><td>P1</td><td>221.2 m²</td><td>2,381 ft²</td></tr><tr><td>LEVEL 1</td><td>1,642.2 m²</td><td>17,676 ft²</td></tr><tr><td>LEVEL 2</td><td>1,625.8 m²</td><td>17,500 ft²</td></tr><tr><td>LEVEL 3</td><td>1,625.8 m²</td><td>17,500 ft²</td></tr><tr><td>LEVEL 4</td><td>1,625.8 m²</td><td>17,500 ft²</td></tr><tr><td>LEVEL 5</td><td>1,625.8 m²</td><td>17,500 ft²</td></tr><tr><td>LEVEL 6</td><td>1,457.0 m²</td><td>15,683 ft²</td></tr><tr><td>GRAND TOTAL</td><td>9,823.6 m²</td><td>105,741 ft²</td></tr></table> 119 RESIDENTIAL UNITS PROVIDED TOTAL = 300 UNITS PER HECTARE	LEVEL	GROSS FLOOR AREA		m ²	ft ²	P1	221.2 m ²	2,381 ft ²	LEVEL 1	1,642.2 m ²	17,676 ft ²	LEVEL 2	1,625.8 m ²	17,500 ft ²	LEVEL 3	1,625.8 m ²	17,500 ft ²	LEVEL 4	1,625.8 m ²	17,500 ft ²	LEVEL 5	1,625.8 m ²	17,500 ft ²	LEVEL 6	1,457.0 m ²	15,683 ft ²	GRAND TOTAL	9,823.6 m ²	105,741 ft ²
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GRAND TOTAL	9,823.6 m ²	105,741 ft ²																													
SETBACKS: (8)	8(1) NORTHWEST PL (ALONG INTERNAL ROADWAY) - SETBACK: 3.0m 8(5) NORTH PL (ALONG R.O.W. PARCEL) - SETBACK: 0.0m 8(3) SOUTH PL (ALONG 30th AVENUE S.W.) - SETBACK: 6.0m 8(5) WEST PL (ALONG ADJACENT PARCEL) - SETBACK: 0.0m 8(5)(6) EAST PL (ALONG R.O.W. PARCEL / CROWCHILD TRAIL S.W.) - SETBACK: 0.0m	NORTHWEST SETBACK - 3.0m (COMPLIANT) NORTH SETBACK - 0.0m (COMPLIANT) SOUTH SETBACK - 6.0m (COMPLIANT) WEST SETBACK - 0.0m (COMPLIANT) EAST SETBACK - 0.0m (COMPLIANT)																													
BUILDING HEIGHT (18)	(1) MAX. BUILDING HEIGHT: 25 m (2) MAX. BUILDING HEIGHT REDUCED TO 21.0 m MEASURED FROM GRADE WITHIN 15.0 METRES FROM A PROPERTY LINE SHARED WITH 30 AVENUE S.W.	NORTH ELEVATION = 23.76m SOUTH ELEVATION = 20.22m (30th AVE SW)																													

CLAUSE	REQUIREMENT	PROVIDED														
AMENITY SPACE: (1P2007-557)	THE REQUIRED MINIMUM AMENITY SPACE IS 5.0m² PER UNIT. <table><tr><th>UNIT COUNT</th><th>REQUIRED AREA</th></tr><tr><td>119</td><td>595.0 m²</td></tr></table>	UNIT COUNT	REQUIRED AREA	119	595.0 m²	AMENITY SPACE PROVIDED: <table><tr><th>AMENITY TYPE</th><th>AREA</th></tr><tr><td>COMMON INDOOR</td><td>65.4 m²</td></tr><tr><td>COMMON OUTDOOR</td><td>816.1 m²</td></tr><tr><td>PRIVATE</td><td>569.0 m²</td></tr><tr><td>TOTAL AMENITY</td><td>1450.5 m²</td></tr></table>	AMENITY TYPE	AREA	COMMON INDOOR	65.4 m²	COMMON OUTDOOR	816.1 m²	PRIVATE	569.0 m²	TOTAL AMENITY	1450.5 m²
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COMMON INDOOR	65.4 m²															
COMMON OUTDOOR	816.1 m²															
PRIVATE	569.0 m²															
TOTAL AMENITY	1450.5 m²															
MOTOR VEHICLE PARKING REQUIREMENTS: (1P2007-558)	□ MULTI-RESIDENTIAL DEVELOPMENT 0.625 RESIDENT PARKING STALLS PER DWELLING UNIT = 0.625 STALLS x 119 UNITS = 75 RESIDENT STALLS REQ'D 25% T.O.D. REDUCTION = 56 RESIDENT STALLS REQUIRED TOTAL	VEHICULAR PARKING PROVIDED RESIDENT PARKING STALLS PROVIDED: 108 STALLS														
BICYCLE PARKING REQUIREMENTS: (1P2007-559)	CLASS I BICYCLE PARKING STALLS REQ'D: = 1.0 CLASS I BICYCLE STALLS PER UNIT = 1.0 STALL X 119 UNITS= 119 CLASS I STALLS REQUIRED CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 STALL X 119 UNITS = 12 CLASS II STALLS REQUIRED	BICYCLE PARKING PROVIDED: CLASS I BICYCLE STALLS PROVIDED: 119 CLASS II BICYCLE STALLS PROVIDED: 12														



Zeidler Architecture

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PROJECT

"PARKLINE" PHASE 1
- MULTI-FAMILY BLDG

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(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

TITLE

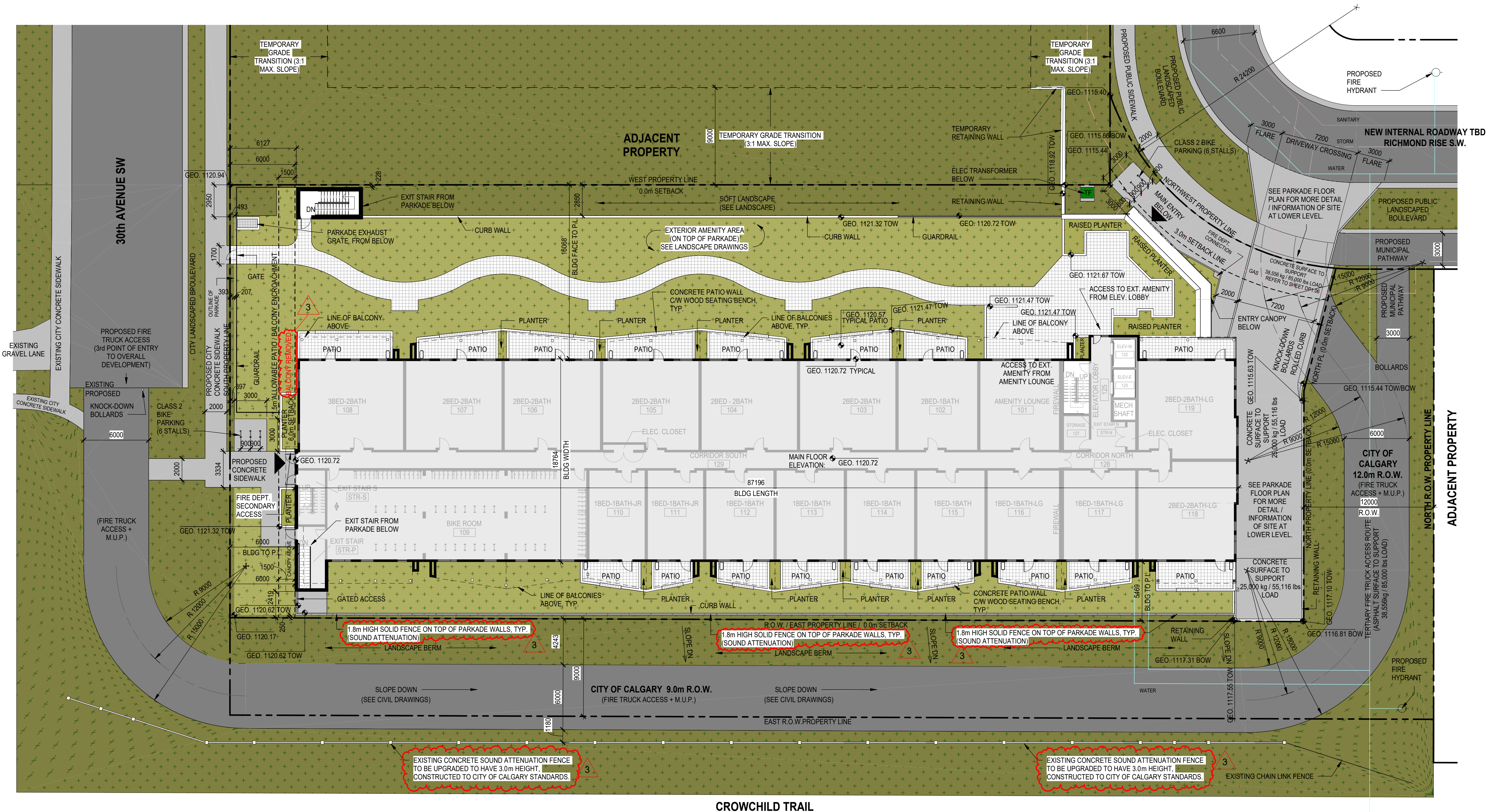
SITE PLAN +
PROJECT/BYLAW
INFORMATION

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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DP1.03

3

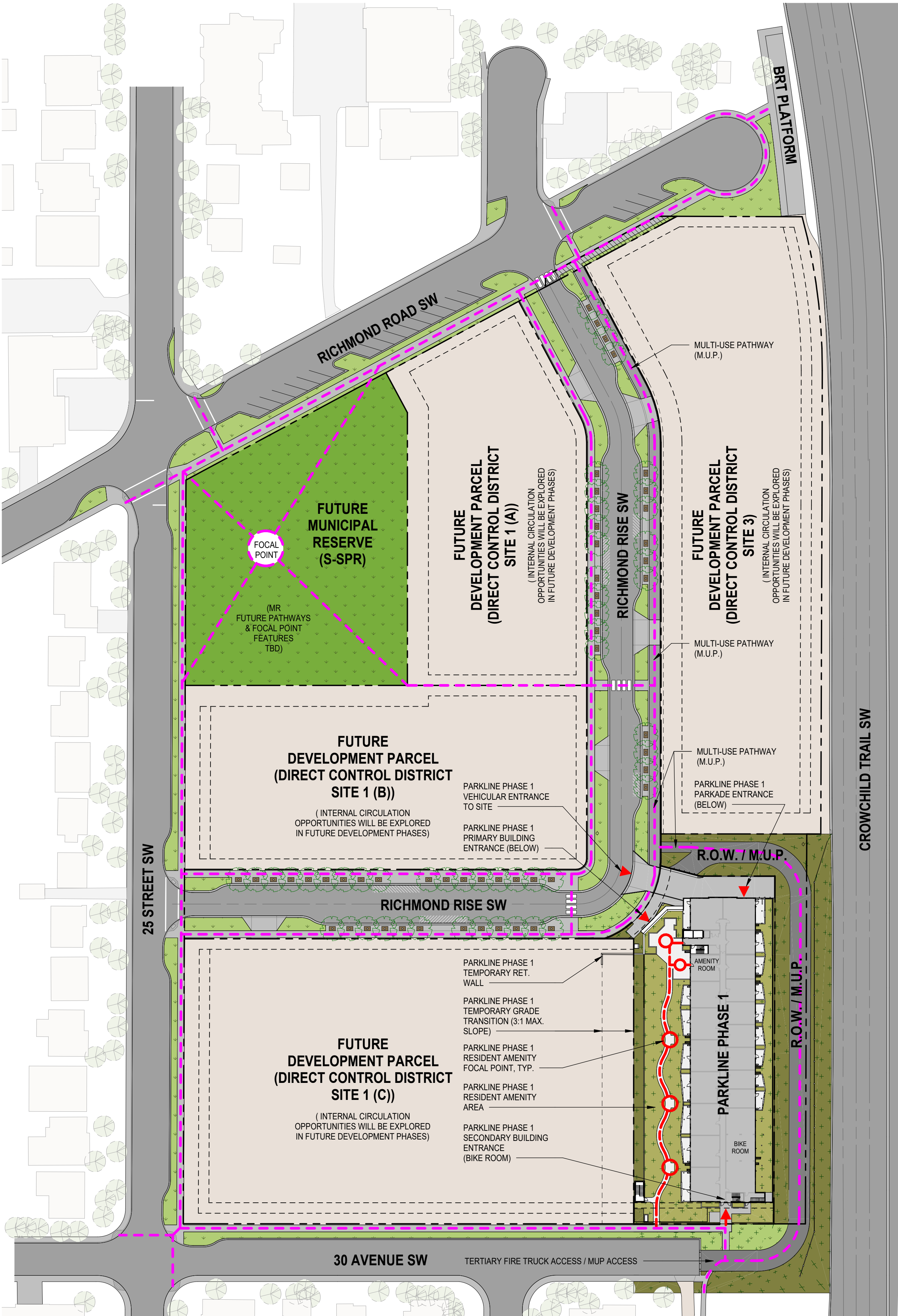


1
DP1.03

SITE PLAN
SCALE: 1:200

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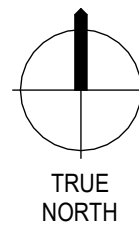


1 OVERALL PARKLINE SITE PLAN - PEDESTRIAN
DP1.04 SCALE: 1 : 750

PEDESTRIAN PLAN LEGEND

- OVERALL PARKLINE PUBLIC PEDESTRIAN NETWORK
- PARKLINE PHASE 1 PRIVATE PEDESTRIAN NETWORK

- PARKLINE PHASE 1 PARCEL / BUILDING ACCESS POINTS
- PARKLINE PHASE 1 PRIVATE AMENITY FOCAL POINT
- OVERALL PARKLINE PUBLIC AMENITY FOCAL POINT



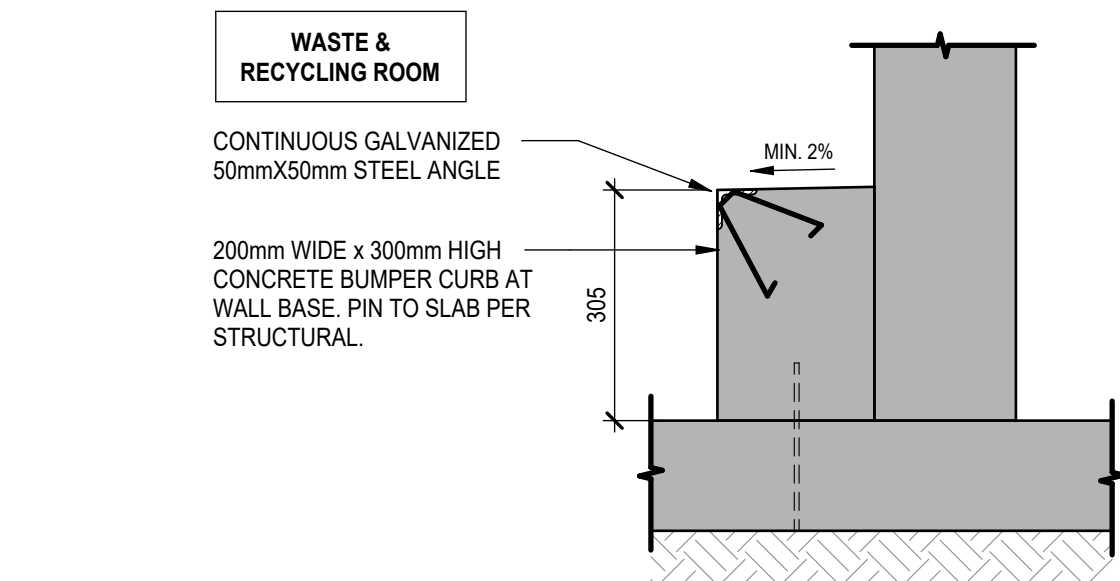
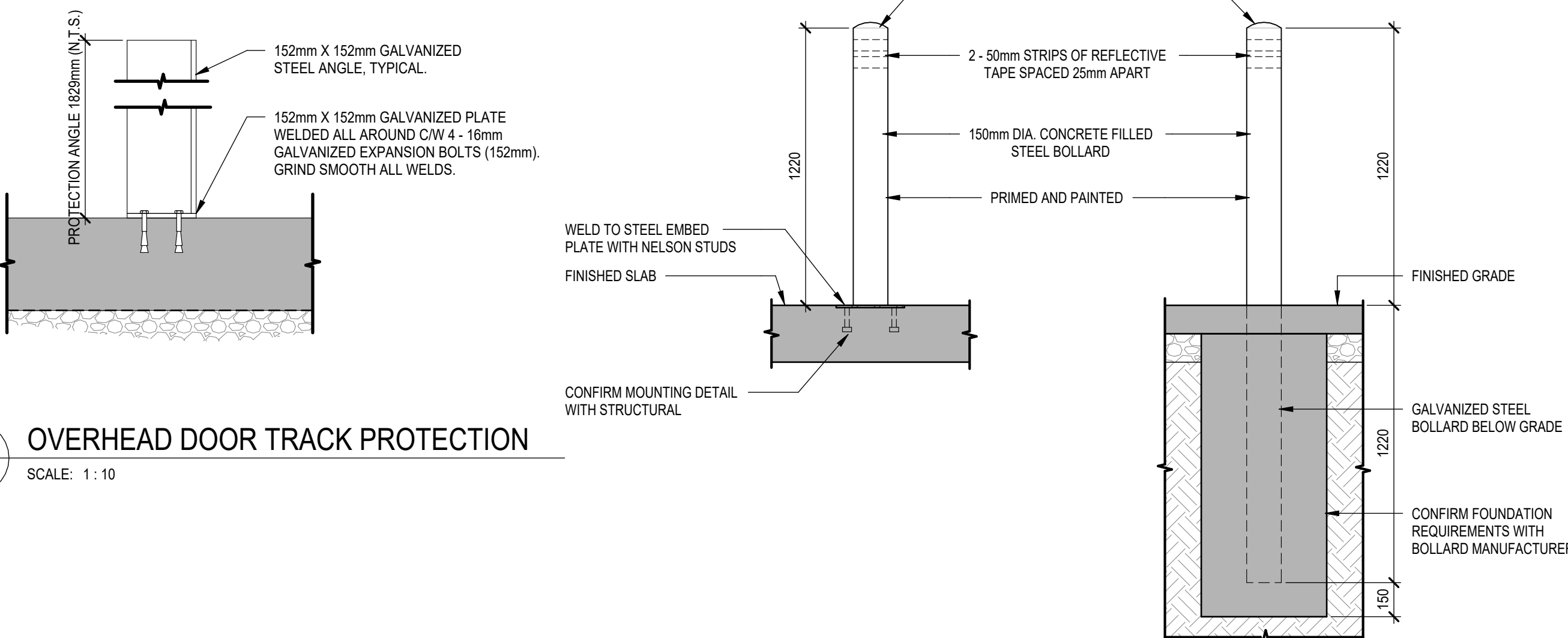
NOTE

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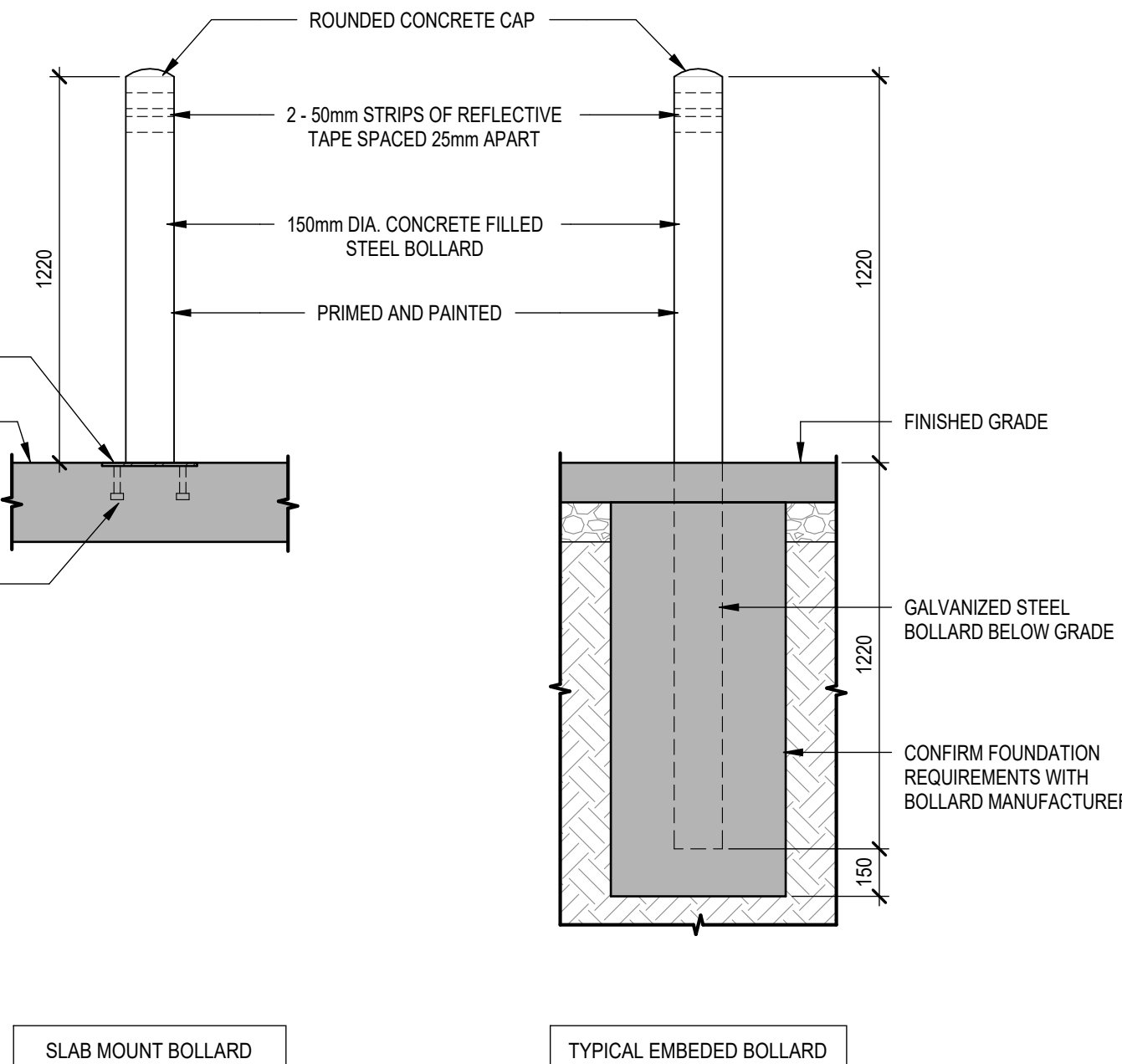
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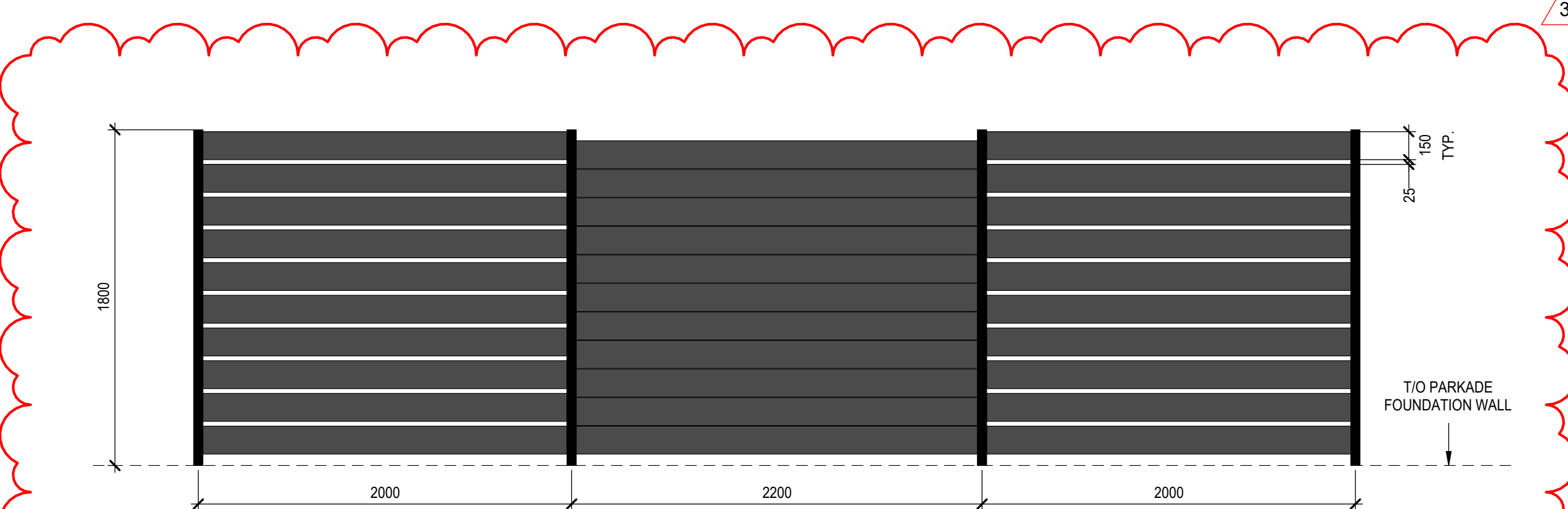
3 OVERHEAD DOOR TRACK PROTECTION
DP1.04 SCALE: 1 : 10



4 TYPICAL BOLLARDS
DP1.04 SCALE: 1 : 20



5 WALL PROTECTION DETAIL
DP1.04 SCALE: 1 : 10



6 1.8m HIGH FENCE FOR SOUND ATTENUATION (T/O PARKADE WALL) - ELEVATION DETAIL
DP1.04 SCALE: 1 : 25

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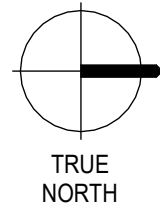
OVERALL SITE PLAN -
PEDESTRIAN,
ENLARGED PLANS &
DETAILS

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3



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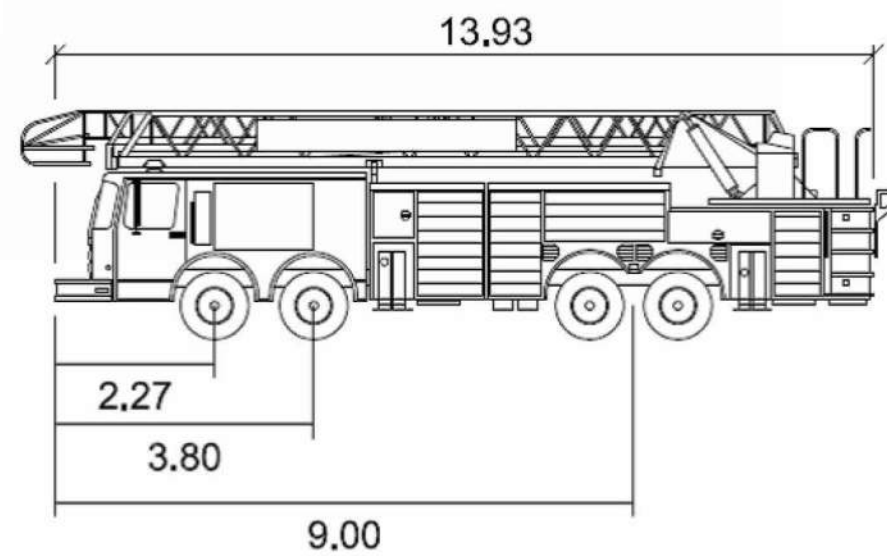
VEHICLE ACCESS
PLAN

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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DP1.05

3



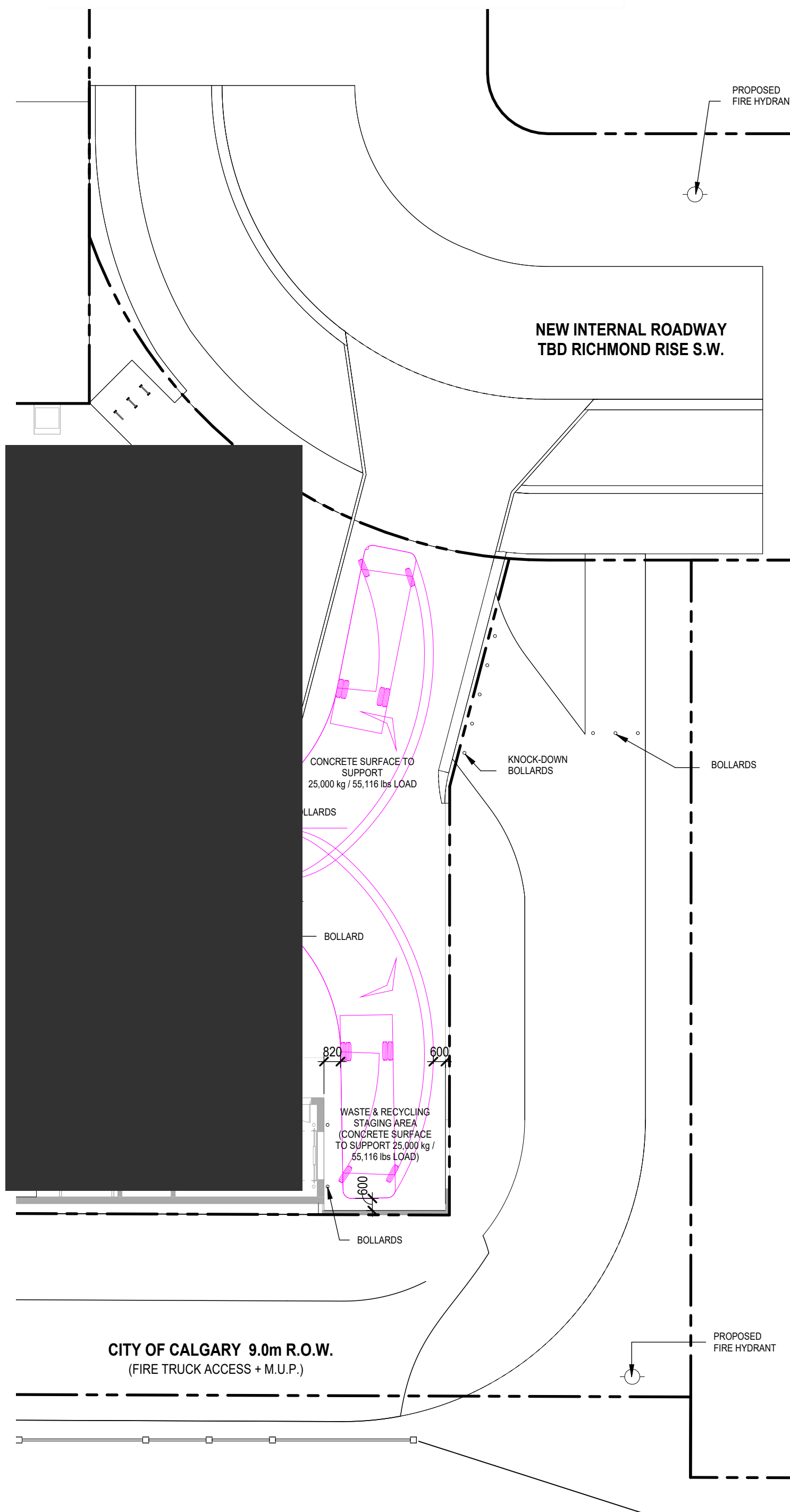
CFD_Bronto_Skylift

	meters
Width	: 2.57
Track	: 2.57
Lock to Lock Time	: 6.0
Steering Angle	: 47.5
Turning Radius	: 10.18

NOTE:

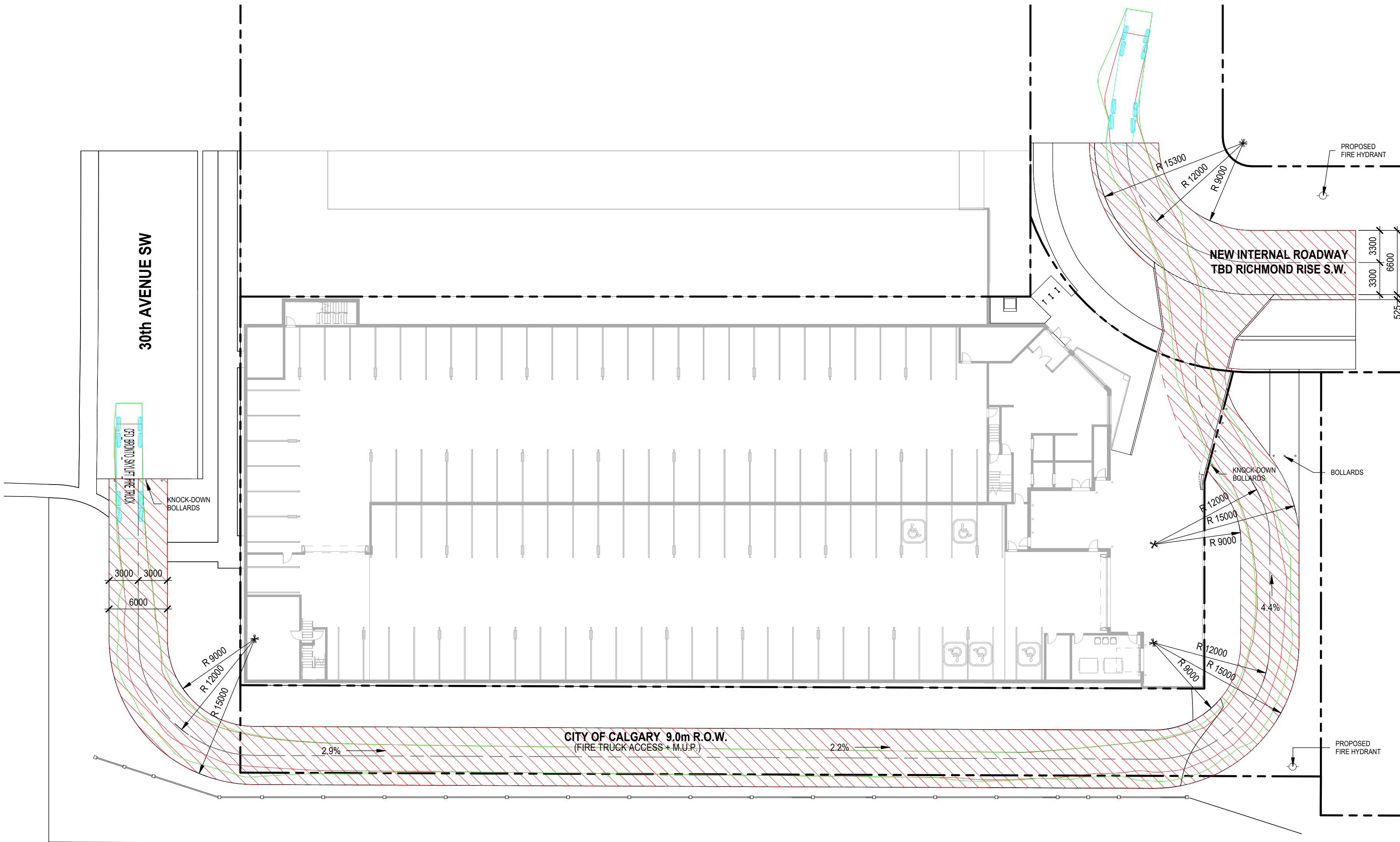
HATCHED AREA INDICATES FIRE ACCESS ROUTE
DESIGNED TO SUPPORT 38,556KG/85,000LBS LOAD

NOTE:
MINIMUM 4.3m VERTICAL CLEARANCE IS PROVIDED FOR ALL
VEHICLE ACCESS IN TURN-AROUND AREAS.



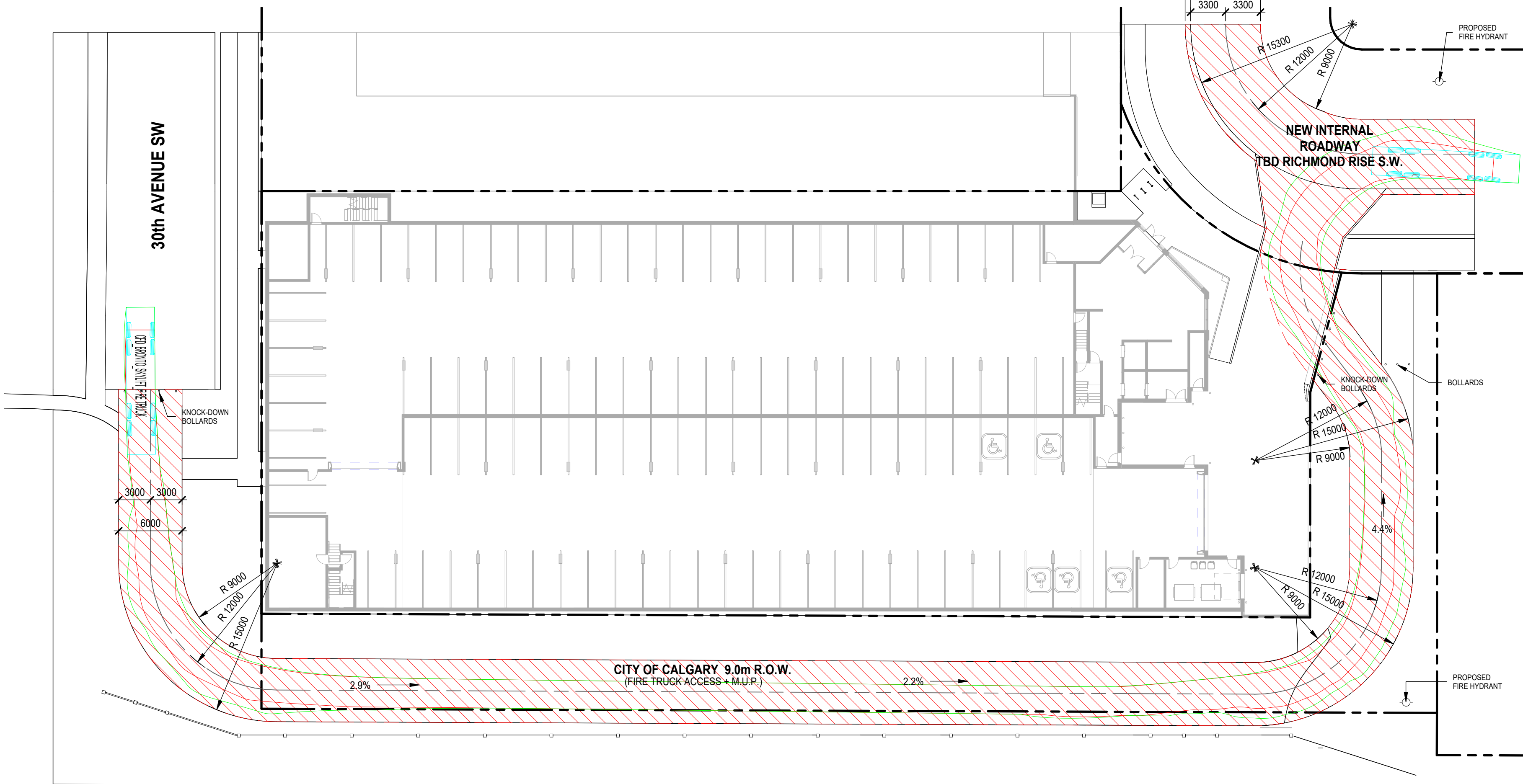
3 SU9 VEHICLE TRACKING PLAN

DP1.05 SCALE: 1: 200



1 FIRE TRUCK ACCESS PLAN_1

DP1.05 SCALE: 1: 300



2 FIRE TRUCK ACCESS PLAN_2

DP1.05 SCALE: 1: 300

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AMENDED DRAWINGS
DP No DP2025-02420 Date Received DEC 15 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

NOT FOR CONSTRUCTION

PROJECT
**"PARKLINE" PHASE 1
- MULTI-FAMILY BLDG**

PROJECT ADDRESS
TBD RICHMOND RISE S.W.
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

TITLE
**BUILDING
ELEVATIONS**

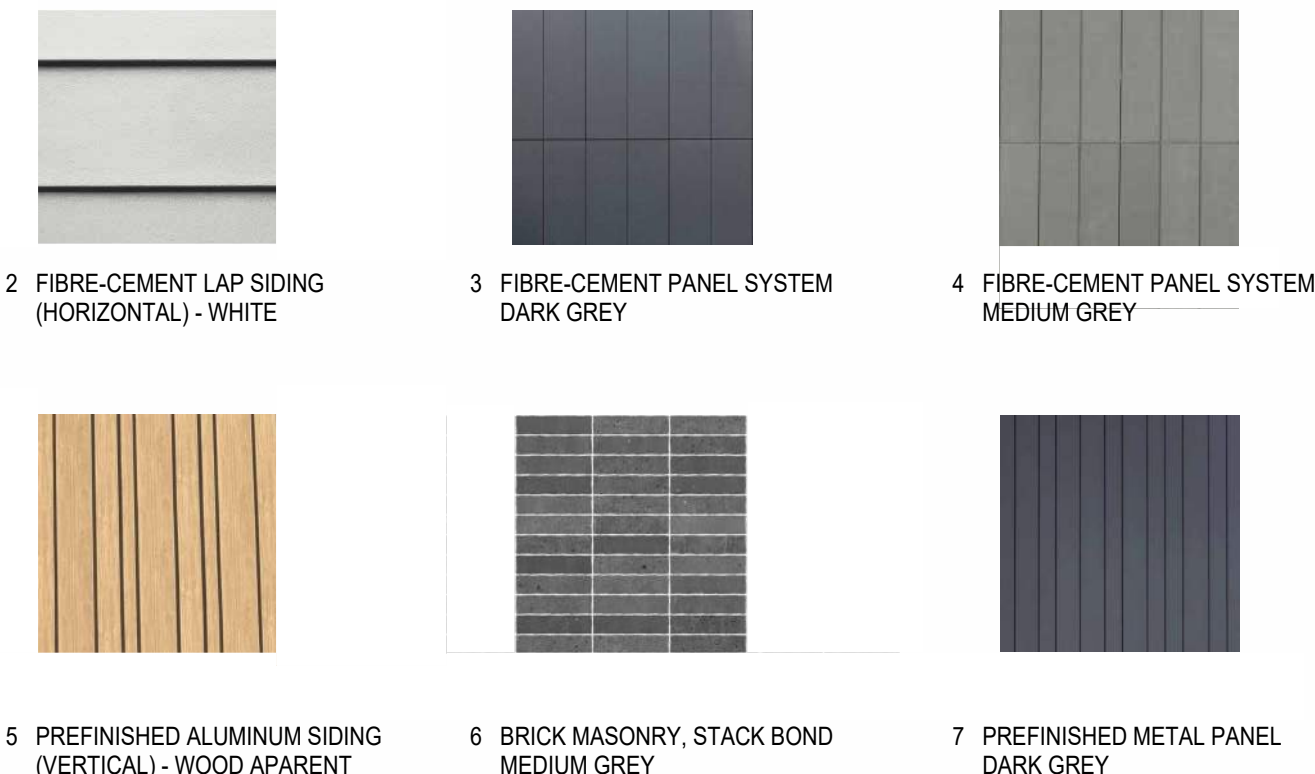
PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
-------------	--------------

DP3.01

3

MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINIUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



NOTE

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No Date Received
DP2025-02420 DEC 15 2025
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3	ISSUED FOR DR-2 RESPONSE	2025-12-15
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1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE / REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

"PARKLINE" PHASE 1
- MULTI-FAMILY BLDG

PROJECT ADDRESS
TBD RICHMOND RISE S.W.
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CALGARY, ALBERTA

TITLE

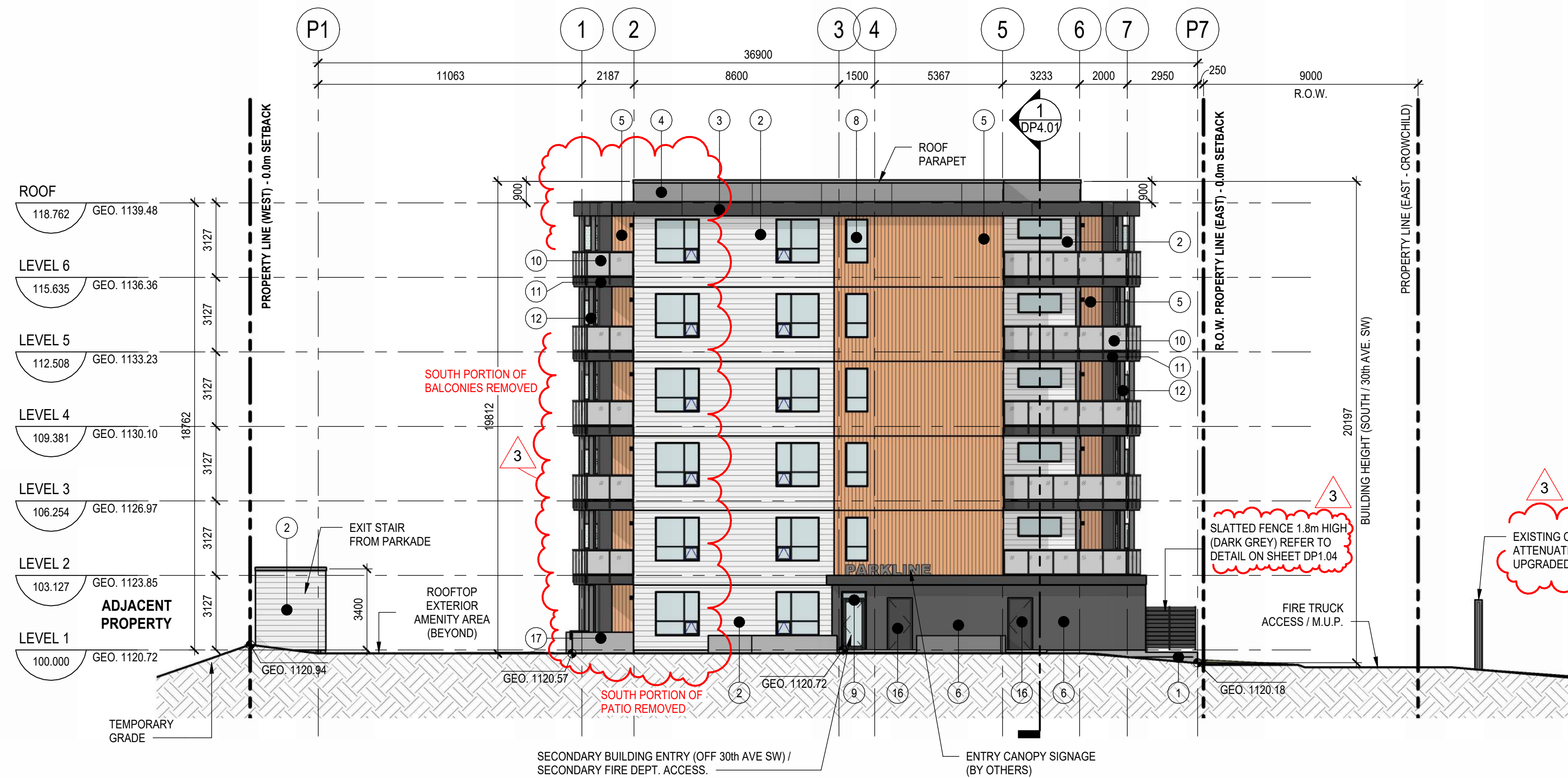
BUILDING
ELEVATIONS

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
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DP3.02

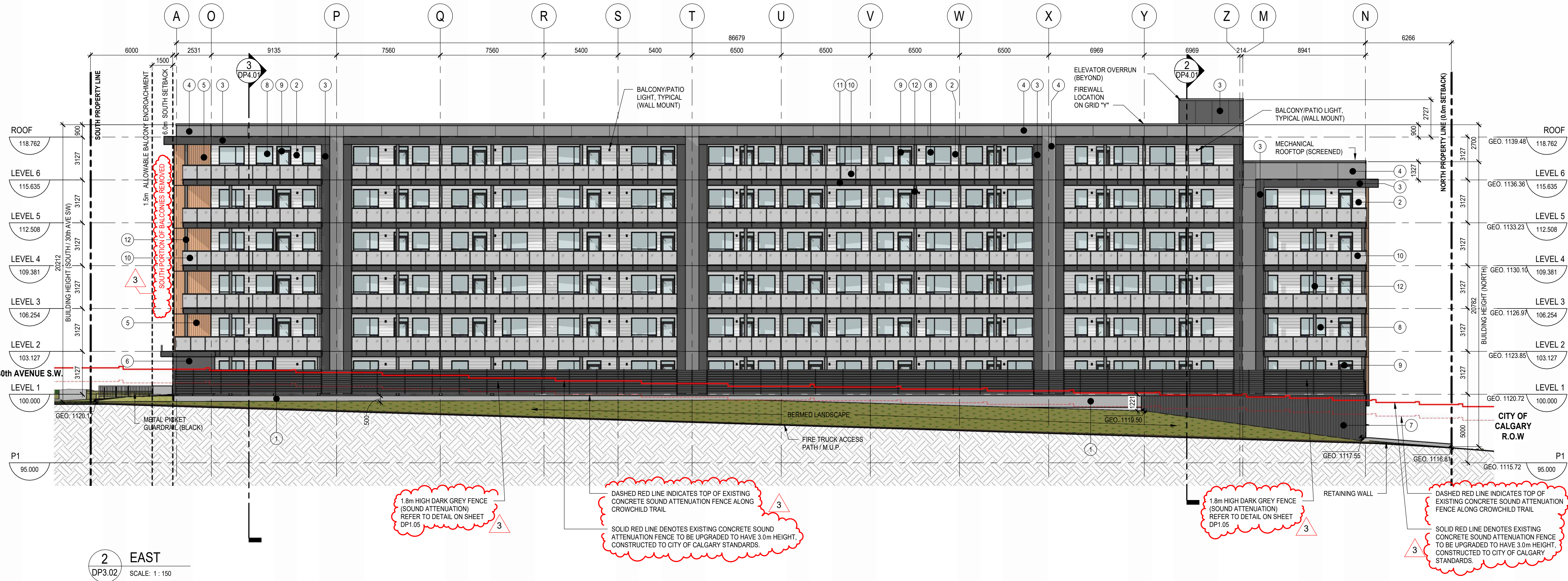
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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINIUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



1 SOUTH
DP3.02 SCALE: 1 : 150



2 EAST
DP3.02 SCALE: 1 : 150

1.8m HIGH DARK GREY FENCE (SOUND ATTENUATION) REFER TO DETAIL ON SHEET DP1.05

DASHED RED LINE INDICATES TOP OF EXISTING CONCRETE SOUND ATTENUATION FENCE ALONG CROWCHILD TRAIL.
SOLID RED LINE DENOTES EXISTING CONCRETE SOUND ATTENUATION FENCE TO BE UPGRADED TO HAVE 3.0m HEIGHT, CONSTRUCTED TO CITY OF CALGARY STANDARDS.

1.8m HIGH DARK GREY FENCE (SOUND ATTENUATION) REFER TO DETAIL ON SHEET DP1.05

DASHED RED LINE INDICATES TOP OF EXISTING CONCRETE SOUND ATTENUATION FENCE ALONG CROWCHILD TRAIL.
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NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

"PARKLINE" PHASE 1
- MULTI-FAMILY BLDG

PROJECT ADDRESS

TBD RICHMOND RISE S.W.
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)
CALGARY, ALBERTA

TITLE

ORTHOGRAPHIC
VIEWS

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

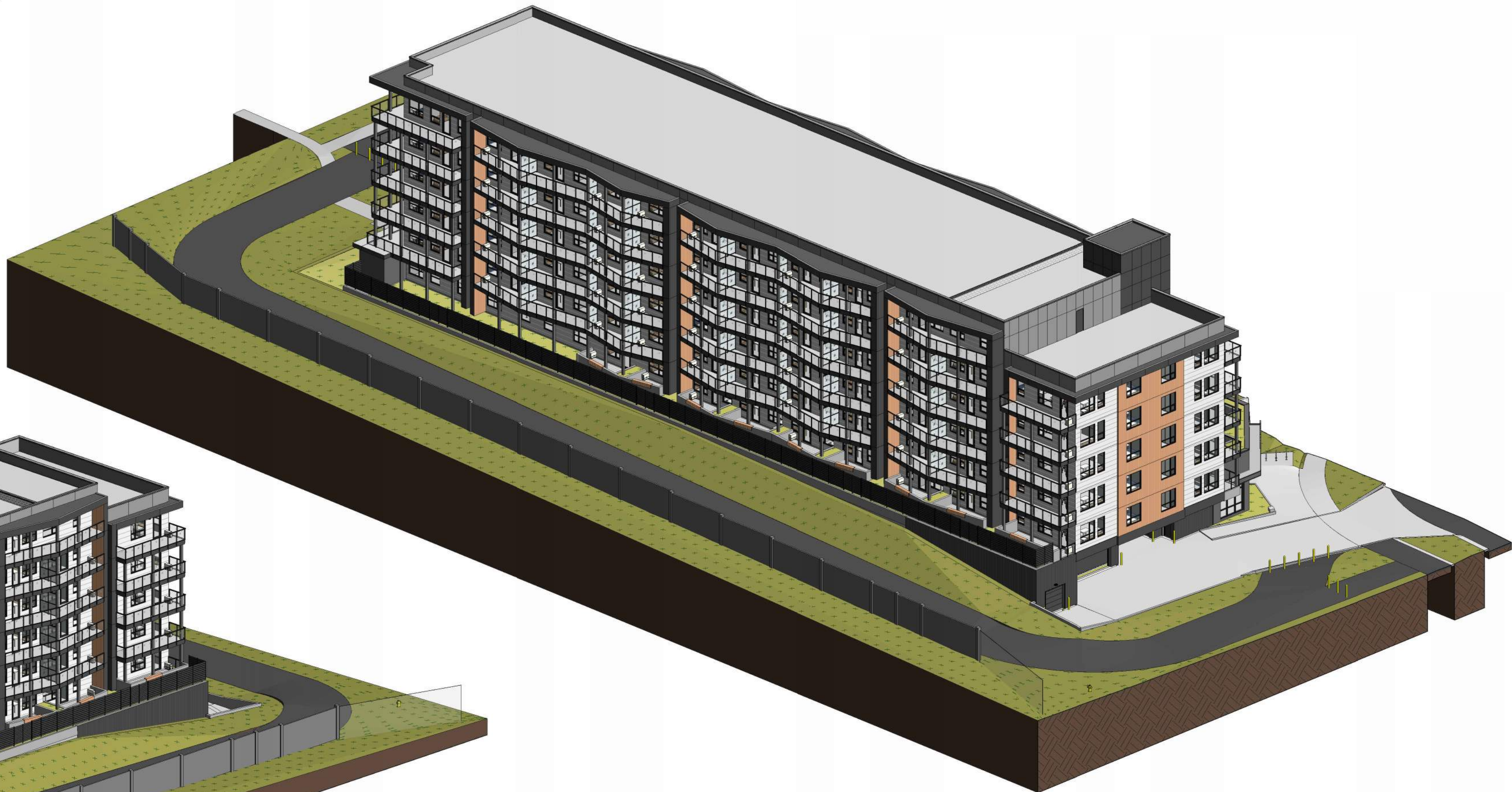
DRAWING NO.	REVISION NO.
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DP3.03

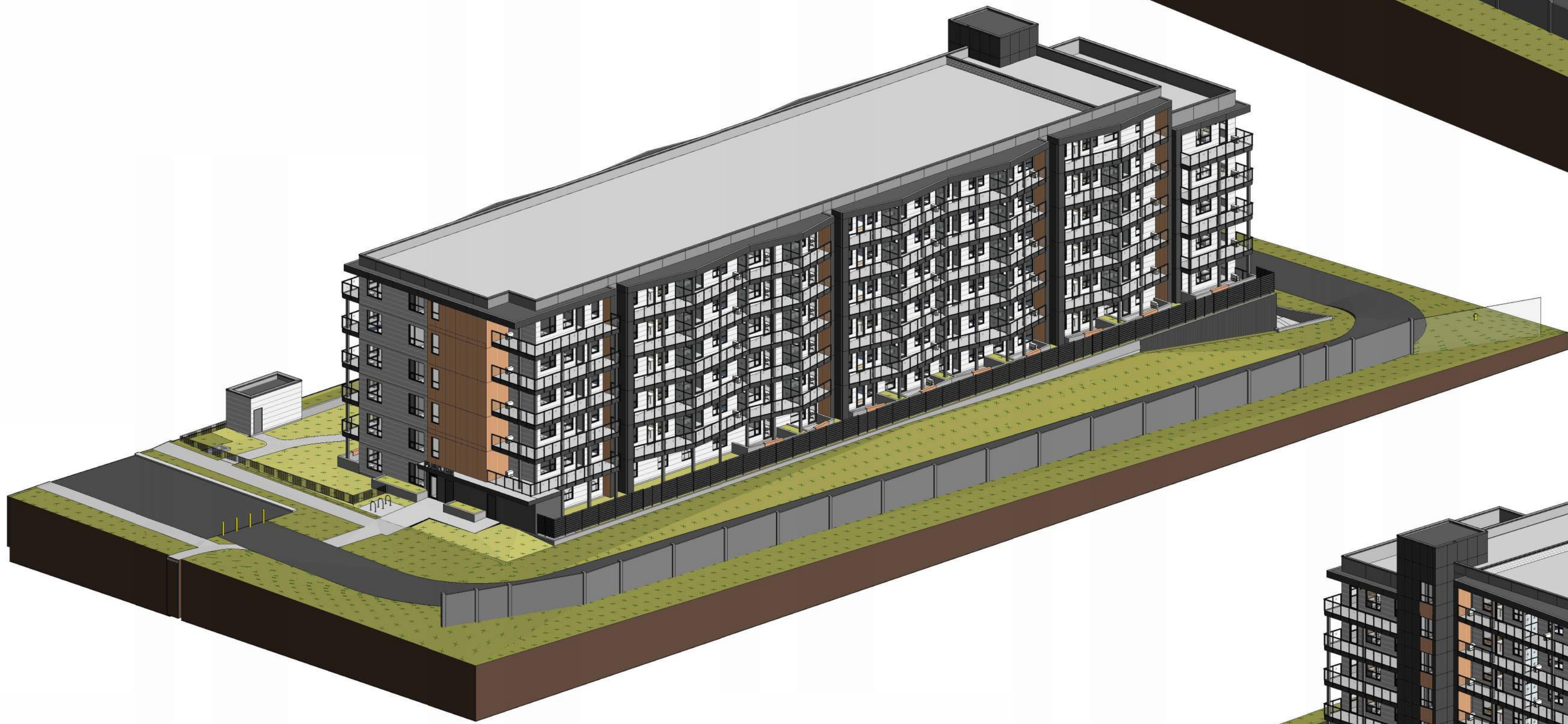
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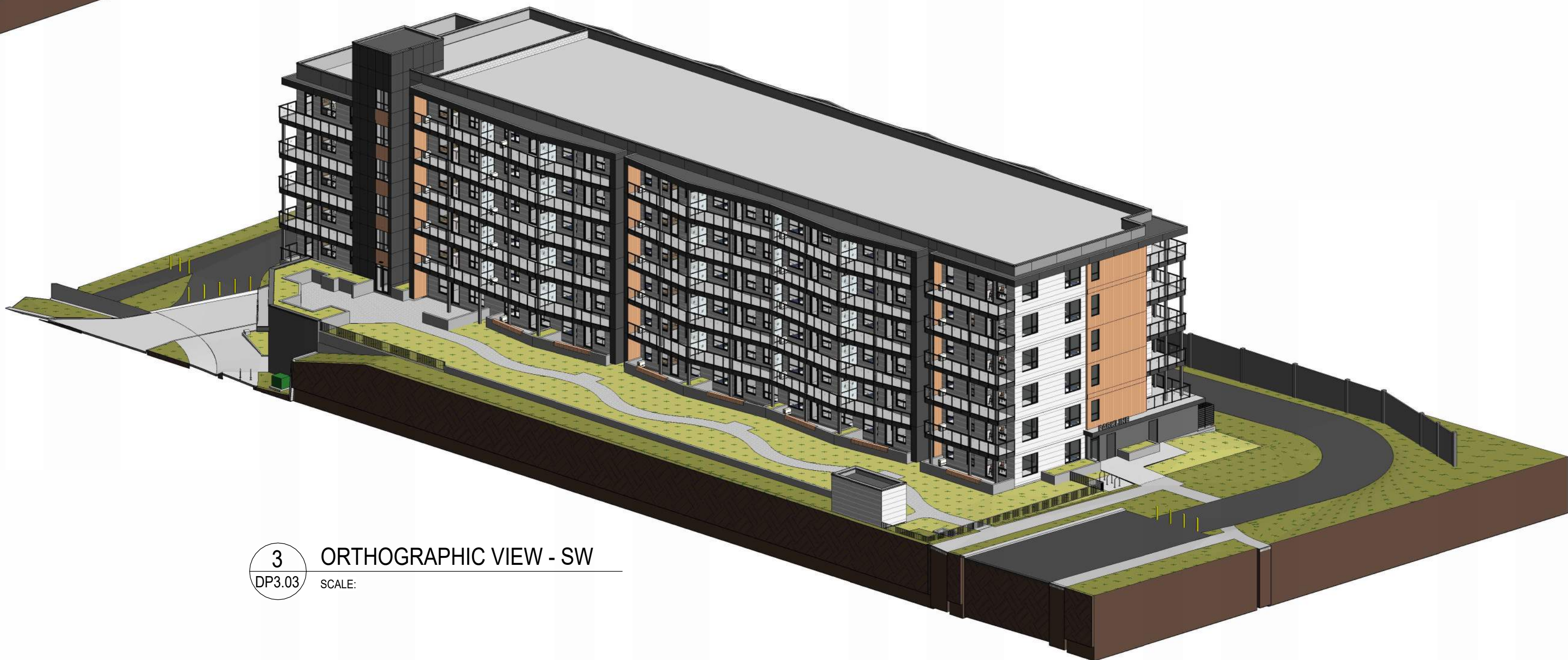
1 ORTHOGRAPHIC VIEW - NW NEW
DP3.03 SCALE:



2 ORTHOGRAPHIC VIEW - NE
DP3.03 SCALE:



4 ORTHOGRAPHIC VIEW - SE
DP3.03 SCALE:

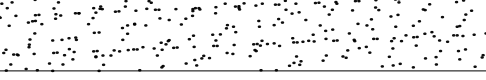


3 ORTHOGRAPHIC VIEW - SW
DP3.03 SCALE:



_____ . _____ . _____ property line

symbol	description
--------	-------------

	75mm mulch over minimum of 600mm depth topsoil for shrubs, 300mm in all other cases
	native drought tolerant sod over 300mm min topsoil
	manicured native drought tolerant sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

number	symbol	description
46		

4	 75mm caliper	deciduous trees - 32 @ 75mm, 2 @ 50mm • pink spire flowering crabapple • trembling aspen • sweetheart mayday • red rocket red maple • guardian columnar aspen	<i>Malus 'pink spire'</i> <i>Populus tremuloides</i> <i>Prunus padus 'sweetheart'</i> <i>Acer rubrum 'red rocket'</i> <i>Populus 'Jefguard'</i>	drought tolerant drought tolerant
12	 50mm caliper 2m height 3m height	coniferous trees - 7 @ 3m height, 5 @ 2m height • ponderosa pine • scotch pine • mountain pine • hoopsii blue spruce	<i>Pinus ponderosa</i> <i>Pinus sylvestris</i> <i>Pinus uncinata</i> <i>Picea pungens 'hoopsii'</i>	drought tolerant drought tolerant drought tolerant drought tolerant

number	symbol	description
149		

	• sunset japanese barberry • mops mugho pine • alpine carpet juniper • western snowberry • morden blush rose • northern gold forsythia • russian sage • compact winged burning bush	<i>Berberis thunbergii</i> 'sunsetan' <i>Pinus mugo</i> 'Mops' <i>Juniperus communis</i> 'alpine carpet' <i>Symphoricarpos occidentalis</i> <i>Rosa</i> 'morden blush' <i>Forsythia</i> 'northern gold' <i>Pterocarya atriplicifolia</i> <i>Euonymus alatus</i> 'compactus'
600 sp / lt ± 900-2000 mature min. #2 container size		drought tolerant drought tolerant drought tolerant drought tolerant drought tolerant drought tolerant drought tolerant

number	symbol	description
126		

120		avalanche reed grass <i>Calamagrostis x acutiflora</i> 'avalanche'
-----	---	--

1. contractor is responsible for locating utilities and protecting same from damage during construction. Contractor shall call Alberta One Call 1-800-242-3447, commencement of work indicates completion of utility locates.
2. all drawings are property of landscape architect. site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
3. if discrepancies exist between drawings, the contractor scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
4. all drawings are the property of the landscape architect. any drawings not otherwise noted.
5. all drawings shall be approved on site by the landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
6. contractor shall refer to related disciplines as indicated on plan's where applicable.
7. all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.o.
8. disturbance outside limit of construction line to be referred to the satisfaction of the owner's representative.
9. refer to civil engineering drawings for grading information.

1. All soft surfaced landscaped areas must be irrigated by an underground irrigation system.



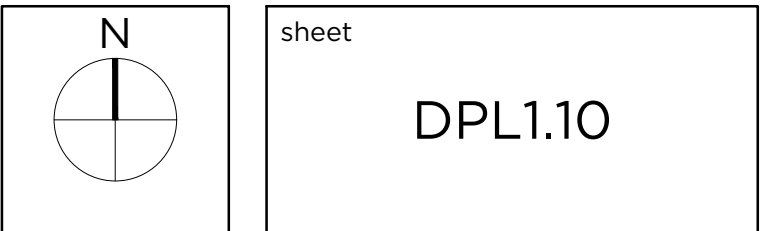
issue / revision	date	no.
issued for development permit	25/03/17	1
issued for DTR1 response	25/09/12	2
issued for DTR2 response	25/12/02	3

Vicount Bennett
Parcel D

drawn EB	checked EB	approved JS
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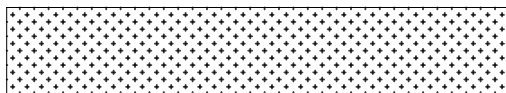
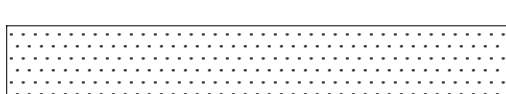
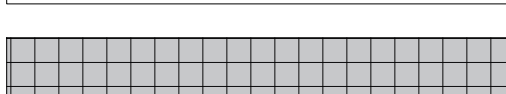
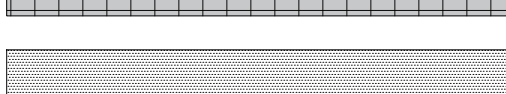
project #	date
23.702	2025/12/02

drawing
Parkade Level Site Plan
- Landscape



_____ . _____ . _____ property line

symbol	description
--------	-------------

	75mm mulch over minimum of 600mm depth topsoil for shrubs, 300mm in all other cases
	native drought tolerant sod over 300mm min topsoil
	manicured native drought tolerant sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

number	symbol	description
1.0		

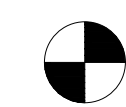
46			
3.4	75mm caliper 50mm caliper 2m height	deciduous trees - 32 @ 75mm, 2 @ 50mm • pink spire flowering crabapple <i>Malus 'pink spires'</i> • trembling aspen <i>Populus tremuloides</i> • sweetheart mayday <i>Prunus padus 'sweetheart'</i> • red rocket red maple <i>Acer rubrum 'red rocket'</i> • guardian columnar aspen <i>Populus 'jefguard'</i> drought tolerant	
12	3m height 2m height	coniferous trees - 7 @ 3m height, 5 @ 2m height • ponderosa pine <i>Pinus ponderosa</i> • scotch pine <i>Pinus sylvestris</i> • mountain pine <i>Pinus uncinata</i> • hoopsii blue spruce <i>Picea pungens 'hoopsii'</i> drought tolerant	

number	symbol	description
110		

149		• sunsation japanese barberry • mops mugo pine • alpine carpet juniper • western snowberry • morden blush rose • northern gold forsythia • russian sage • compact winged burning bush	• <i>Berberis thunbergii</i> 'sunsation' • <i>Pinus mugo</i> 'Mops' • <i>Juniperus communis</i> 'alpine carpet' • <i>Symphoricarpos occidentalis</i> • <i>Rosa</i> 'morden blush' • <i>Forsythia</i> 'northern gold' • <i>Perovskia atriplicifolia</i> • <i>Eunonymus alatus</i> 'compactus'	- drought tolerant - drought tolerant - drought tolerant - drought tolerant - drought tolerant - drought tolerant - drought tolerant - drought tolerant
		600 sp / ht ± 900-2000 mature min. #2 container size		

number	symbol	description
...		

126		avalanche reed grass <i>Calamagrostis x acutiflora 'avalanche'</i>
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DPL1.20	Scale 1:250
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DPL.1.20	Scale 1:75
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4. contractor to coordinate and attend all inspections and approvals required by the owner.
5. all drawings are metric unless otherwise noted.
6. all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
7. contractor shall refer to related disciplines as indicated on plan's where applicable.
8. all drainage considerations shall be designed to ensure positive drainage away from structures, u.o. disturbance outside limit of construction line to repaired to the satisfaction of the owner's representative.
9. refer to civil engineering drawings for grading information.

1. All soft surfaced landscaped areas must be irrigated by an underground irrigation system.



issue / revision	date	no.
issued for development permit	25/03/17	1
issued for DTR1 response	25/09/12	2
issued for DTR2 response	25/12/02	3

project

Vicount Bennett
Parcel D

drawn EB	checked EB	approved JS
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project # 23.702 date 2025/12/02

drawing
Main Floor Level Site Plan
- Landscape

